

KINDERGARTEN SITEWORK - PH II

FOR:

GREENFIELD UNION ELEMENTARY SCHOOL DISTRICT

2400 PLANZ RD BAKERSFIELD CA 93304

CODE REQUIREMENTS

ALL DRAWINGS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

2019 TITLE 24 CCR, PART 1 - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE

2019 TITLE 24 CCR, PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) (2018 IBC, AS AMENDED BY CA)

2019 TITLE 24 CCR, PART 3 - 2019 CALIFORNIA ELECTRICAL CODE (CEC) (2017 NEC (NFPA),

2019 TITLE 24 CCR, PART 9 - 2019 CALIFORNIA FIRE CODE (CFC) (2018 IFC, AS AMENDED BY CA)

2019 TITLE 24 CCR, PART 10 - 2019 CALIFORNIA EXISTING BUILDING CODE (IEBC) (2018 INTERNATIONAL EXISTING BUILDING CODE, AS AMENDED BY CA)

2019 TITLE 24 CCR, PART 11 - 2019 GREEN BUILDING STANDARDS CODE (CALGREEN CODE)

2019 TITLE 24 CCR, PART 12 - 2019 CALIFORNIA REFERENCED STANDARDS

PARTIAL LIST OF APPLICABLE STANDARDS

2016 NFPA 72, FIRE ALARM CODE (CA AMENDED)

NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT CONSTRUCTION IN CONFLICT WITH THE REQUIREMENTS OF ANY CODE, LAW, ORDINANCE, OR REGULATION. THE FOLLOWING AGENCIES SHALL HAVE JURISDICTION OVER THE PROGRESS OF THE WORK:

ACCESSIBILITY STANDARDS

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FIND OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT

1. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATION BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP AND TURN OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.

2. MAXIMUM EFFORT TO OPERATE SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS WHEN FIRE DOORS ARE REQUIRED. THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 POUNDS.

3. CONSTRUCTION: THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAMES ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

4. FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS SHALL MEET THIS OPENING WIDTH REQUIREMENT.

5. IN ADDITION TO ALL LOCAL CODES, ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, TITLE 24, AS WELL AS FEDERAL A.D.A., (AMERICANS WITH DISABILITIES ACT).

PROJECT INFORMATION

SCOPE OF WORK:

THE REMOVAL OF FIVE (5) EXISTING BUILDINGS, AND THE REPLACEMENT OF CONCRETE WALKS AND LANDSCAPING.
THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF OUTDOOR CONCRETE STAGE WITH CONCRETE BLOCK WALLS ACCESSIBLE BY A RAMP AND STAIRS. AN UNDERGROUND DRAINAGE SYSTEM IS ALSO A PART OF THIS PROJECT.

GENERAL NOTES

- THE DRAWINGS, IDEAS AND DESIGNS REPRESENTED HEREIN ARE THE PROPERTY OF THE ARCHITECT.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO CONVEY AN OVERALL DESCRIPTION OF THE PROJECT IN SUFFICIENT DETAIL FOR ITS COMPLETE CONSTRUCTION. SOME CONDITIONS, WHICH ARE COMMONLY ENCOUNTERED IN CONSTRUCTION OF THIS TYPE AND/OR CONDITIONS WHICH RELATE TO SPECIFIC PRODUCTS OR PROCESSES, MAY NOT BE SPECIFICALLY DETAILED IN THESE PLANS. ALL CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED COMPLETELY PER THE CURRENT STANDARDS OF THE APPROPRIATE INDUSTRY AND ANY APPLICABLE MANUFACTURER'S RECOMMENDATIONS.
- NOTHING IN THE PLANS AND SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT CONSTRUCTION IN CONFLICT WITH THE REQUIREMENTS OF ANY CODE, LAW ORDINANCE OR REGULATION.
- "TYPICAL" MEANS IDENTICAL FOR ALL SAME CONDITIONS UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN WITH THE ARCHITECT.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS OTHERWISE NOTED (+).
- DO NOT SCALE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS.
- ALL HEIGHTS ARE DIMENSIONED FROM TOP OF EXISTING SLAB UNLESS NOTED OTHERWISE "AFF", ABOVE FINISH FLOOR.
- ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB OR CAUSE DAMAGE TO ADJACENT PROPERTIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK OR RELATED WORK IN QUESTION.

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE PROJECT AND SHALL BE RESPONSIBLE FOR DISCIPLINE OF ALL WORKERS ON THE PROJECT.
- JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION PER CEC 110.7
- ALL WORK SHALL CONFORM TO 2016 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
- CHANGE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CHANGE ORDER.
- A "DSA CERTIFIED" PROJECT INSPECTOR (MIN CLASS 3) EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATION IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317 (C), PART 1, TITLE 24, CCR)

- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES
- ALL MATERIALS AND WORK SHOWN SHALL BE CONSIDERED A PART OF THE SCOPE OF WORK FOR THIS PROJECT UNLESS INDICATED AS EXISTING (E)

SHEET INDEX

GENERAL INFORMATION

G-001 GENERAL INFORMATION

CIVIL DRAWINGS

C1 GRADING

C2 DETAILS

ARCHITECTURAL DRAWINGS

A-111 SITE PLAN

A-112 SITE PLAN: REMOVAL

A-113 SITE PLAN: ENLARGED

A-114 SITE PLAN: ENLARGED DIMENSION

A-501 DETAILS

A-502 DETAILS

LANDSCAPE DRAWINGS

L1 DEMOLITION PLAN

L2 DEMOLITION PLAN

L3 TURF IRRIGATION PLAN

L4 TURF IRRIGATION PLAN

L5 TREE IRRIGATION PLAN

L6 TREE IRRIGATION PLAN

L7 IRRIGATION LEGEND, NOTES AND CALCULATIONS

L8 IRRIGATION DETAILS

L9 IRRIGATION DETAILS

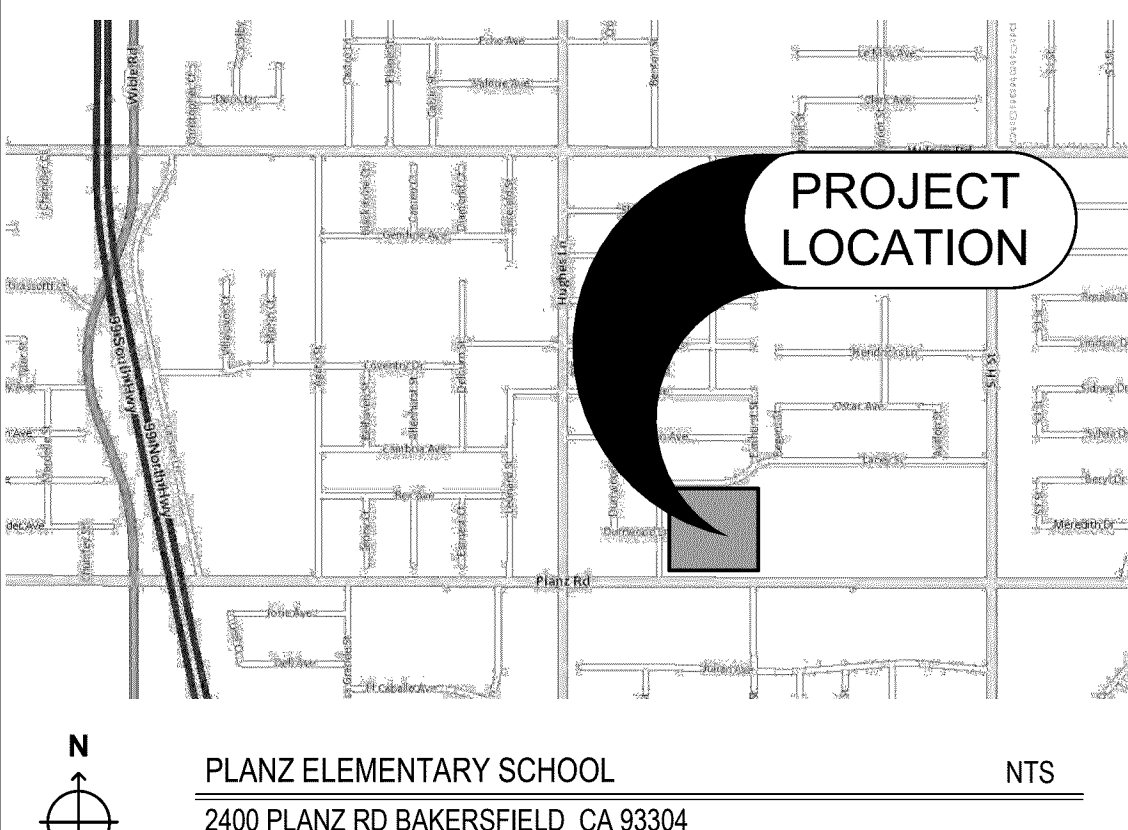
L10 IRRIGATION DETAILS AND CALCULATIONS

L11 PLANTING PLAN

L12 PLANTING PLAN

L13 PLANTING LEGEND, DETAILS AND NOTES

VICINITY MAP

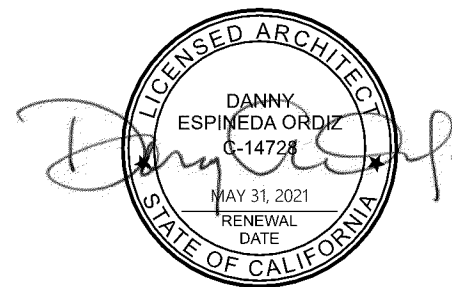


PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD BAKERSFIELD CA 93304

NTS

PTN# #PTN#:

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280 o. (661) 832-4298
Bakersfield, CA 93309 f. (661) 832-4291
www.ordizmelby.com



DANNY E. ORDIZ, AIA
ARCHITECT C-14728

JEANINE S. BERTOLACONI, AIA
ARCHITECT C-35596

MANUEL MALDONADO JR., AIA
ARCHITECT C-36294

WILLIAM J. MELBY, AIA
ARCHITECT C-16855

JAMES R. VARNER, AIA
ARCHITECT C-10963

JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

KINDERGARTEN SITEWORK - PH II

FOR:
GREENFIELD UNION
ELEMENTARY
SCHOOL DISTRICT

PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD
BAKERSFIELD , CA 93304

MARK	DATE	DESCRIPTION
△	11-09-2020	ADDENDUM NO 01
△		
△		
△		

JOB NUMBER:
2036.01
CAD DRAWING FILE:
2036.01 Planz Kindergarten Complex_CD23.pln
DRAWN BY:

CHECKED BY:

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.
THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

GENERAL
INFORMATION

SHEET IDENTIFICATION NUMBER

G-001

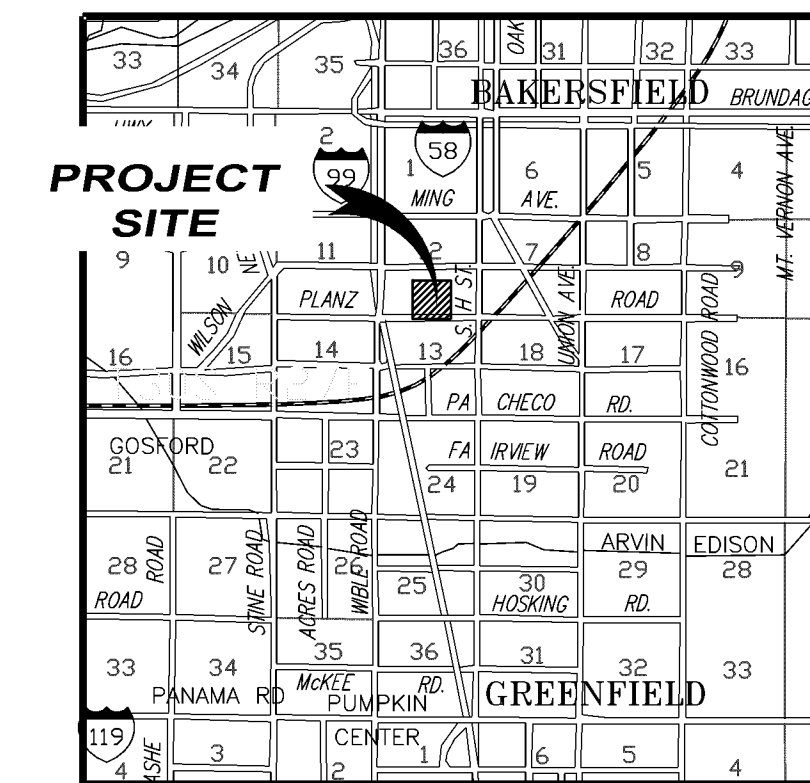
SHEETS IN SET 22

SET MAG NAIL ON PAVEMENT. SEE PLAN.
ELEVATION = 100.36' (ASSUMED)

NOT ALL UTILITIES WERE LOCATED BY THIS SURVEY AND SWANSON
ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR UNDERGROUND
UTILITIES OR FACILITIES NOT SHOWN OR FOR INFORMATION OBTAINED
FROM OUTSIDE SOURCES.

1. CONTRACTOR TO CALL FOR USA LOCATE AND POTHOLE ALL MARKED UTILITIES IN CUT AREAS. VERTICAL AND HORIZONTAL LOCATION SHALL BE ASCERTAINED BY THE CONTRACTOR AHEAD OF ANY EXCAVATIONS TO VERIFY THAT THE PROPOSED DESIGN DOES NOT CONFLICT WITH ANY UTILITIES. IN THE EVENT A CONFLICT EXISTS THE ENGINEER SHALL BE NOTIFIED IN ORDER TO REDESIGN THE AFFECTED AREA. IF RELOCATION OF EXISTING UTILITIES IS DEEMED NECESSARY, THE CONTRACTOR SHALL BE COMPENSATED FOR INSTRUCTED RELOCATION. IN THE EVENT A UTILITY IS DAMAGED, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ITS REPAIR.

2. CONTRACTOR TO ADJUST ALL UTILITY BOXES/Vaults TO GRADE WITHIN THE AREA OF WORK. SHOULD A BOX BE UNCOVERED THAT IS NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DETERMINE IF THE BOX IS TO BE ADJUSTED. THE CONTRACTOR SHALL BE COMPENSATED FOR THE ADDITIONAL WORK IF IT IS DETERMINED THAT THE BOX NEEDS TO BE ADJUSTED.



VICINTIY MAP
N.T.S.

LEGEND:

ABBREVIATIONS:

(E)	EXISTING
TYP.	TYPICAL
FD.	FOUND
BK.	BOOK
PG.	PAGE
C.O.K.	COUNTY OF KERN
C.O.B.	CITY OF BAKERSFIELD
CONC	CONCRETE
A.C.	ASPHALT PAVEMENT
FG	FINISH GRADE
EP	EDGE OF PAVEMENT
TC	TOP OF CURB
FL	FLOWLINE
FF	FINISHED FLOOR
FP	FINISHED PAD
TP	TOP OF PAVEMENT
GB	GRADE BREAK

EXISTING FIRE HYDRANT

EXISTING POWER POLE

EXISTING STREET LIGHT

FOUND MONUMENT

EXISTING TRAFFIC SIGN

EXISTING WATER VALVE

EXISTING GAS VALVE

EXISTING CLEAN-OUT-TO-GRADE

EXISTING IRRIGATION VALVE

EXISTING UTILITY RISER

EXISTING ELECTRICAL GROUND BOX

EXISTING STORM DRAIN LINE
EXISTING FIBER OPTIC LINE
EXISTING WATER LINE
EXISTING SEWER LINE
EXISTING GAS LINE
EXISTING FENCELINE
EXISTING ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING PROPERTY LINE
EXISTING RIGHT-OF-WAY

EXISTING CURB & GUTTER

EXISTING GROUND CONTOUR
LINE & ELEVATION

NEW STORM DRAIN LINE

MIN. 4" CONC / 12" NATIVE @ 90%
SEE ARCHITECTURAL

SEE LANDSCAPE PLANS. FOR AREAS NOT SHOWN ON LANDSCAPE PLANS, REPLACE WITH TURF AS DETAILED ON LANDSCAPE PLANS. COORDINATE WITH LANDSCAPE ARCHT.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.

THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ-MELY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

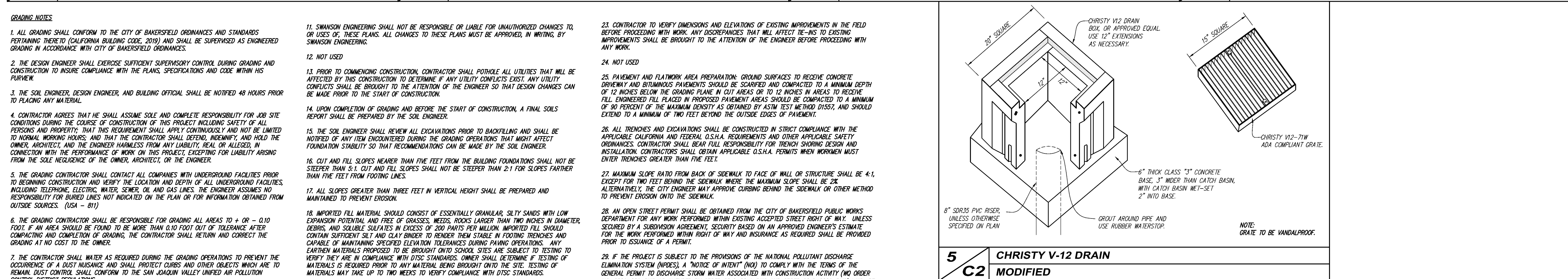
GRADING PLAN

SHEET IDENTIFICATION NUMBER

  C1

JOB#- 20-026

AS







DANNY E. ORDIZ, AIA	WILLIAM J. MELBY, AIA
ARCHITECT C-14728	ARCHITECT C-16835
JEANINE S. BERTOLACCINI, AIA	JAMES R. VARNER, AIA
ARCHITECT C-35596	ARCHITECT C-10963
MANUEL MALDONADO JR., AIA	JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36294	ARCHITECT C-36742

KINDERGARTEN SITEWORK - PH II

FOR:

GREENFIELD UNION
ELEMENTARY SCHOOL
DISTRICT

PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD
BAKERSFIELD, CA 93304

MARK	DATE	DESCRIPTION
	11-09-2020	ADDENDUM NO. 01
		
		
		

JOB NUMBER:
2036 01

CAD DRAWING FILE:

DRAWN BY:

CHECKED BY _____

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING
WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.

THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS
SHEET ARE THE PROPERTY OF THE ARCHITECT.

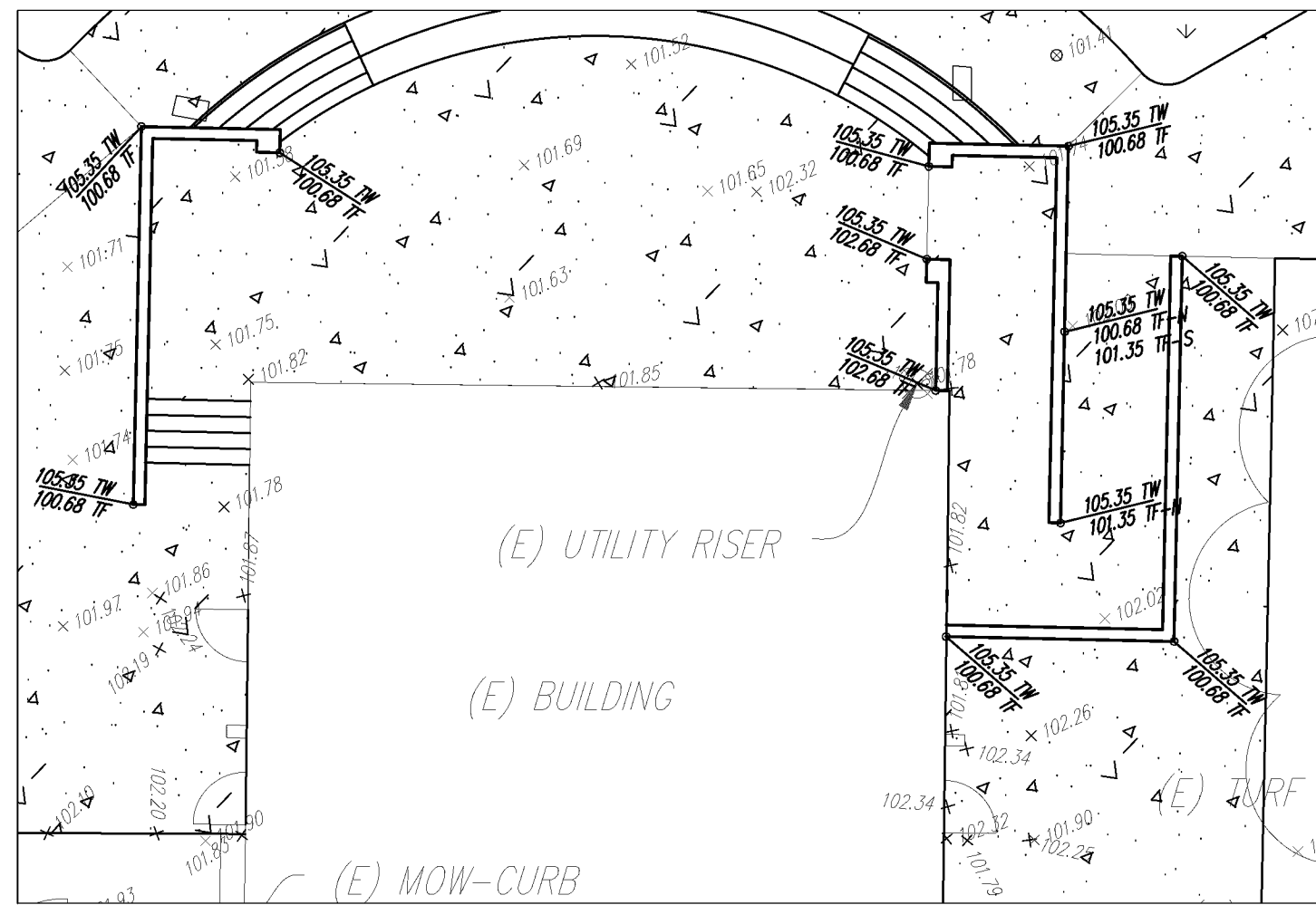
COPYRIGHT 2020
ORDIZ-MELY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

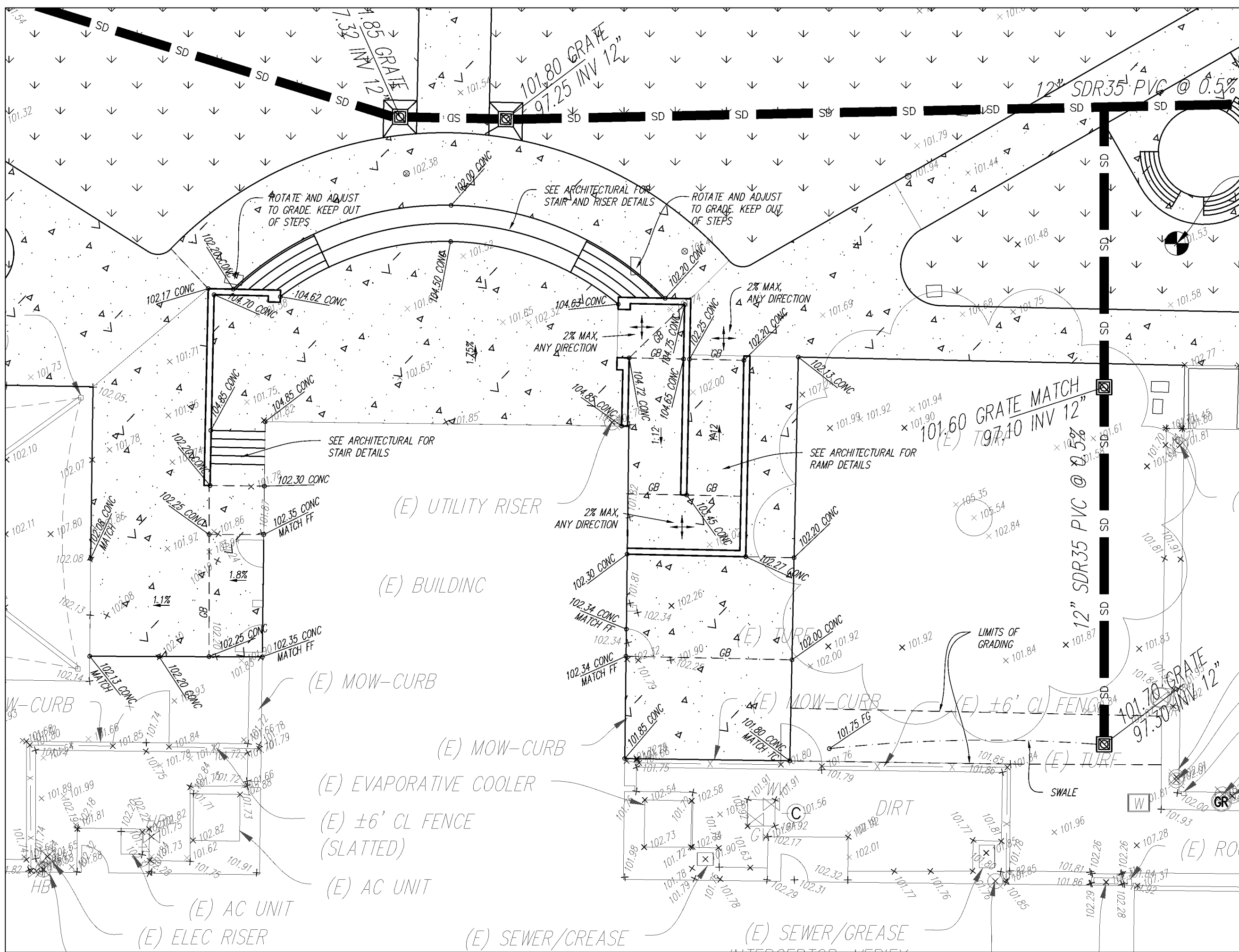
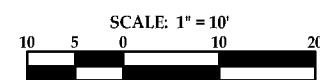
GRADING DETAILS

SHEET IDENTIFICATION NUMBER

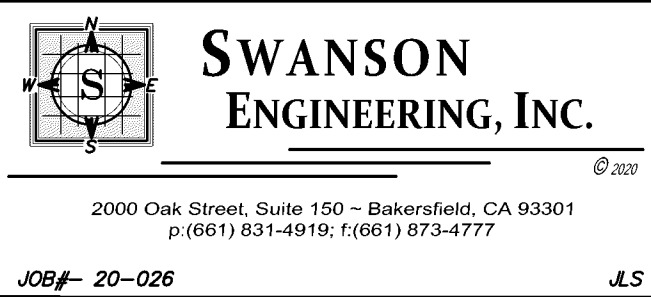
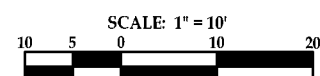
C2



WALL ELEVATIONS



ENLARGED SITE

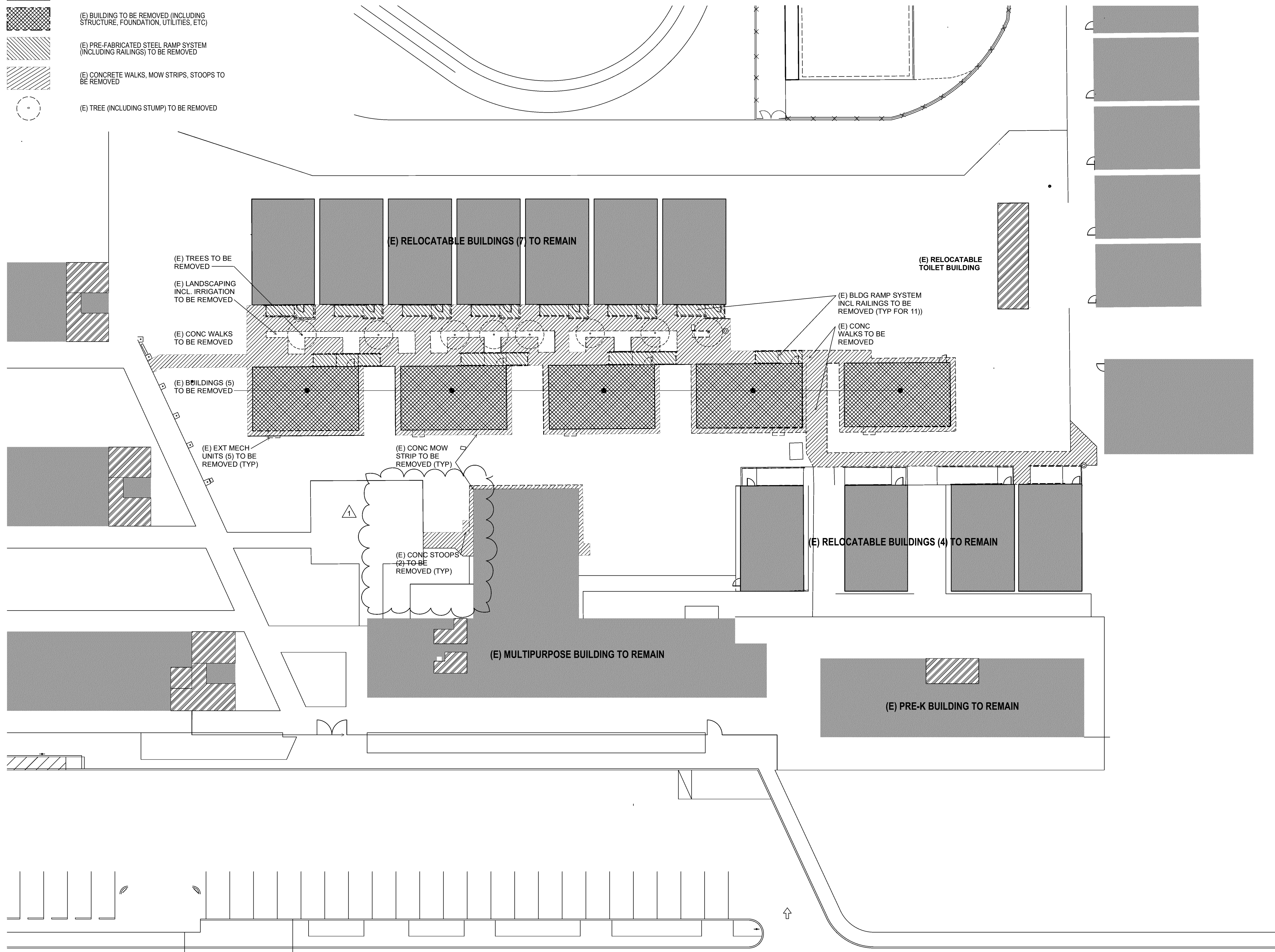


JOB#- 20-026

AS

REMOVAL SITE PLAN LEGEND

- (E) BUILDING TO REMAIN
- (E) BUILDING TO BE REMOVED (INCLUDING STRUCTURE, FOUNDATION, UTILITIES, ETC)
- (E) PRE-FABRICATED STEEL RAMP SYSTEM (INCLUDING RAILINGS) TO BE REMOVED
- (E) CONCRETE WALKS, MOW STRIPS, STOOPS TO BE REMOVED
- (E) TREE (INCLUDING STUMP) TO BE REMOVED



1 SITE REMOVAL PLAN
SCALE: 1" = 20'

PTN# #PTN#:

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com
o: (661) 832-5258
f: (661) 832-4291



DANNY E. ORDIZ, AIA
ARCHITECT C-14728
JEANINE S. BERTOLACCINI, AIA
ARCHITECT C-35596
MANUEL MALDONADO JR., AIA
ARCHITECT C-36294
WILLIAM J. MELBY, AIA
ARCHITECT C-16855
JAMES R. VARNER, AIA
ARCHITECT C-10963
JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

KINDERGARTEN
SITEWORK - PH II

FOR:
GREENFIELD UNION
ELEMENTARY
SCHOOL DISTRICT

PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD
BAKERSFIELD, CA 93304

MARK	DATE	DESCRIPTION
⚠	11-09-2020	ADDENDUM NO 01
⚠		
⚠		
⚠		

JOB NUMBER:
2036.01
CAD DRAWING FILE:
2036.01 Planz Kindergarten Complex_CD23.pln
DRAWN BY:
CHECKED BY:

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.
THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

SITE PLAN: REMOVAL

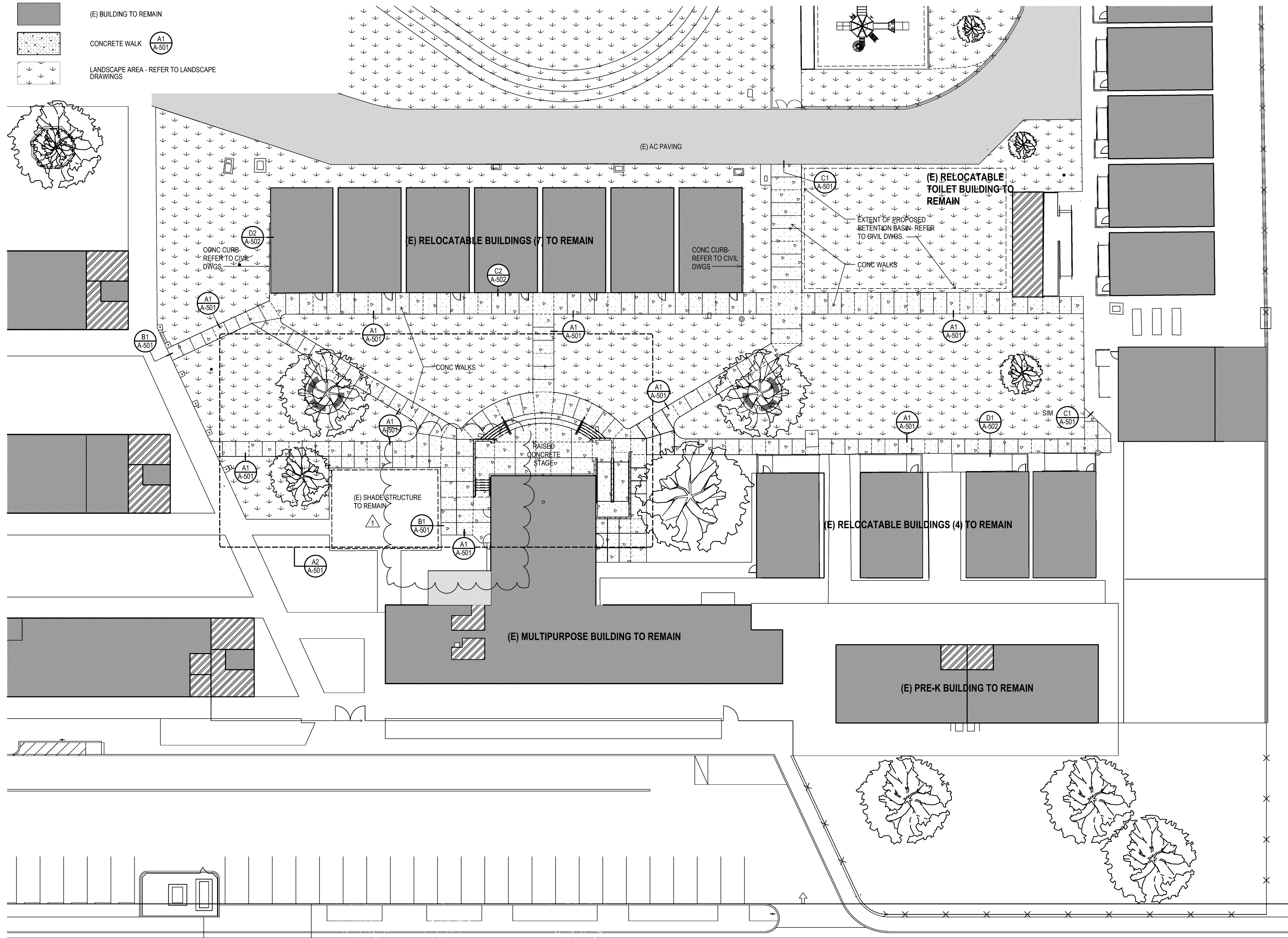
SHEET IDENTIFICATION NUMBER

A-112

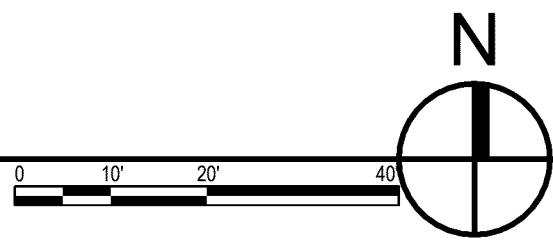
SHEETS IN SET 22

SITE PLAN LEGEND

- (E) BUILDING TO REMAIN
- CONCRETE WALK
- LANDSCAPE AREA - REFER TO LANDSCAPE DRAWINGS



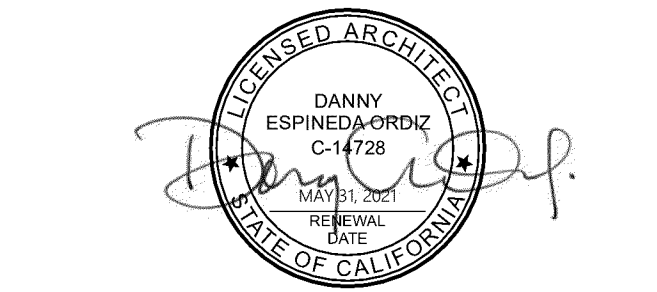
1 SITE PLAN ENLARGED
SCALE: 1" = 20'



PTN# #PTN#:

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com

o: (661) 832-5258
f: (661) 832-4291



DANNY E. ORDIZ, AIA
ARCHITECT C-14728

JEANINE S. BERTOLACCONI, AIA
ARCHITECT C-35596

MANUEL MALDONADO JR., AIA
ARCHITECT C-36294

WILLIAM J. MELBY, AIA
ARCHITECT C-16855

JAMES R. VARNER, AIA
ARCHITECT C-10963

JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

KINDERGARTEN
SITEWORK - PH II

FOR:
GREENFIELD UNION
ELEMENTARY
SCHOOL DISTRICT

PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD
BAKERSFIELD, CA 93304

MARK	DATE	DESCRIPTION
⚠	11-09-2020	ADDENDUM NO 01
⚠		
⚠		
⚠		

JOB NUMBER:
2036.01

CAD DRAWING FILE:
2036.01 Planz Kindergarten Complex_CD23.pln

DRAWN BY:

CHECKED BY:

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING
WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.
THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS
SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

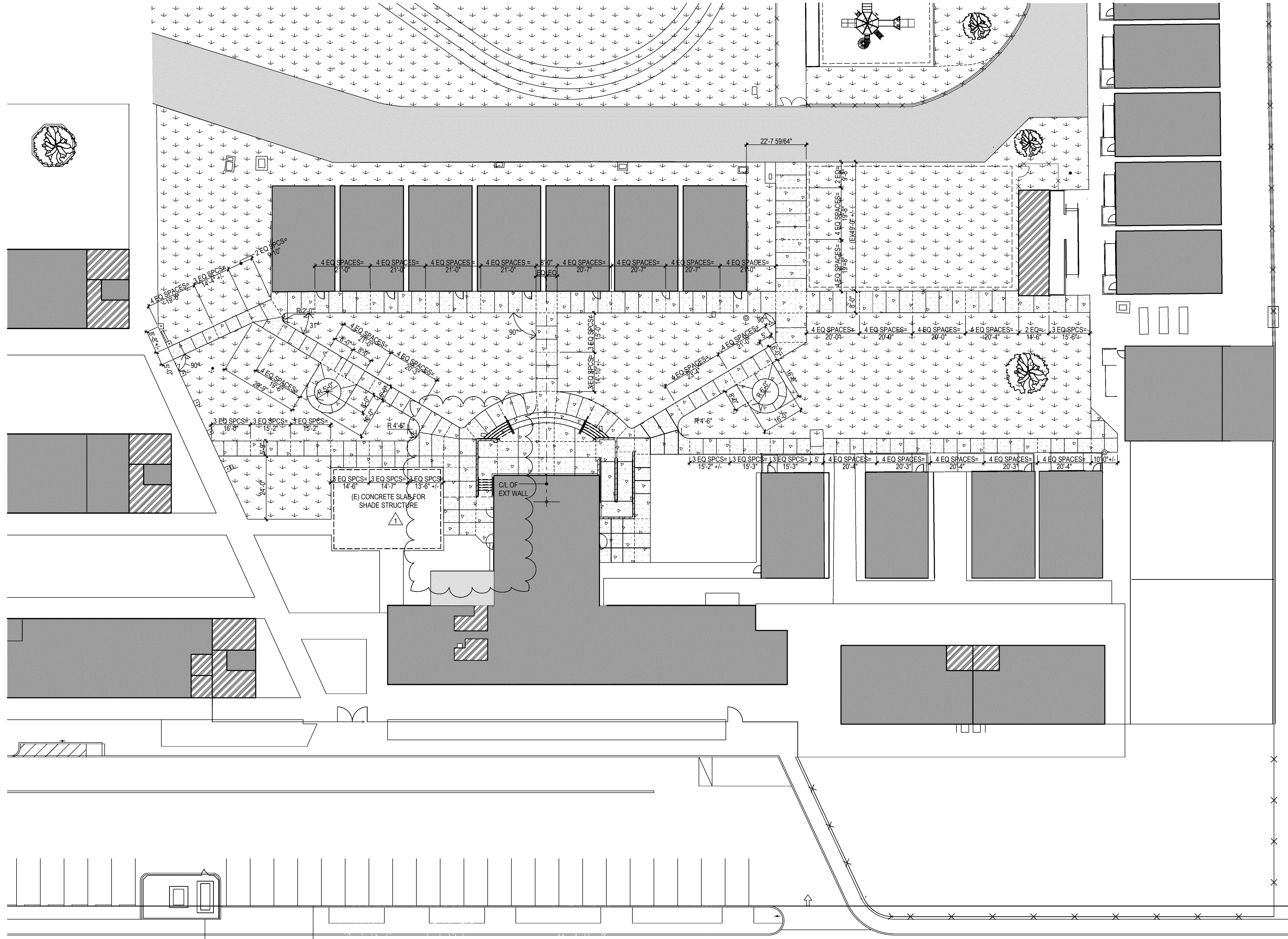
SITE PLAN:
ENLARGED

SHEET IDENTIFICATION NUMBER

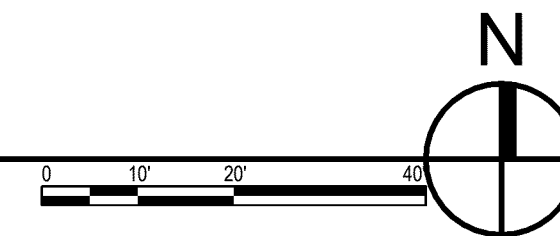
A-113

SHEETS IN SET 22

PLOT TIME: 10:37 AM
PLOT DATE: 11/02/2020
PLOT NAME: A:\2020\20201020\2036.01 Kindergarten Complex - Phase II\Drawings\2036.01 Plan Kindergarten Complex_CD23.dwg



1 ENLARGED DIMENSION PLAN
SCALE: 1" = 20'



PTN# #PTN#:

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
o: (661) 832-4298
f: (661) 832-4291
www.ordizmelby.com

REGISTERED ARCHITECT
DANNY E. ORDIZ
ESPINOZA ORDIZ
C-14728
JAN 31, 2021
RENEWAL
DATE

DANNY E. ORDIZ, AIA
ARCHITECT C-14728
JEANINE S. BERTOLACINI, AIA
ARCHITECT C-35596
MANUEL MALDONADO JR., AIA
ARCHITECT C-36294

WILLIAM J. MELBY, AIA
ARCHITECT C-16855
JAMES R. VARNER, AIA
ARCHITECT C-10963
JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

KINDERGARTEN SITEWORK - PH II

FOR:
GREENFIELD UNION
ELEMENTARY
SCHOOL DISTRICT

PLANZ ELEMENTARY SCHOOL
2400 PLANZ RD
BAKERSFIELD, CA 93304

MARK	DATE	DESCRIPTION
△	11-09-2020	ADDENDUM NO 01
△		
△		
△		

JOB NUMBER:
2036.01
CAD DRAWING FILE:
2036.01 Planz Kindergarten Complex_CD23.pln
DRAWN BY:
CHECKED BY:

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING
WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.
THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS
SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

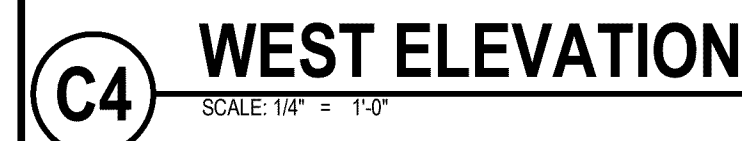
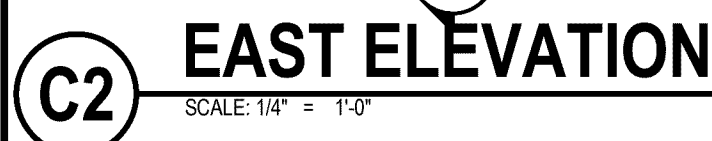
SHEET TITLE

**SITE PLAN:
ENLARGED
DIMENSION**

SHEET IDENTIFICATION NUMBER

A-114

SHEETS IN SET 22



**KINDERGARTEN
SITEWORK - PH II
FOR:**

GREENFIELD UNION
ELEMENTARY
SCHOOL DISTRICT

2400 PLANZ RD
BAKERSFIELD , CA 93304

MARK	DATE	DESCRIPTION
.	.	.
△	11-09-2020	ADDENDUM NO 01
△		
△		
△		

JOB NUMBER:
2036.01

CAD DRAWING FILE:
2036.01 Planz Kindergarten Complex_CD23.pln

DRAWN BY:

CHECKED BY:

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT.

THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2020
ORDIZ-MELYARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

DETAILS

SHEET IDENTIFICATION NUMBER

A-501

SHEETS IN SET 22